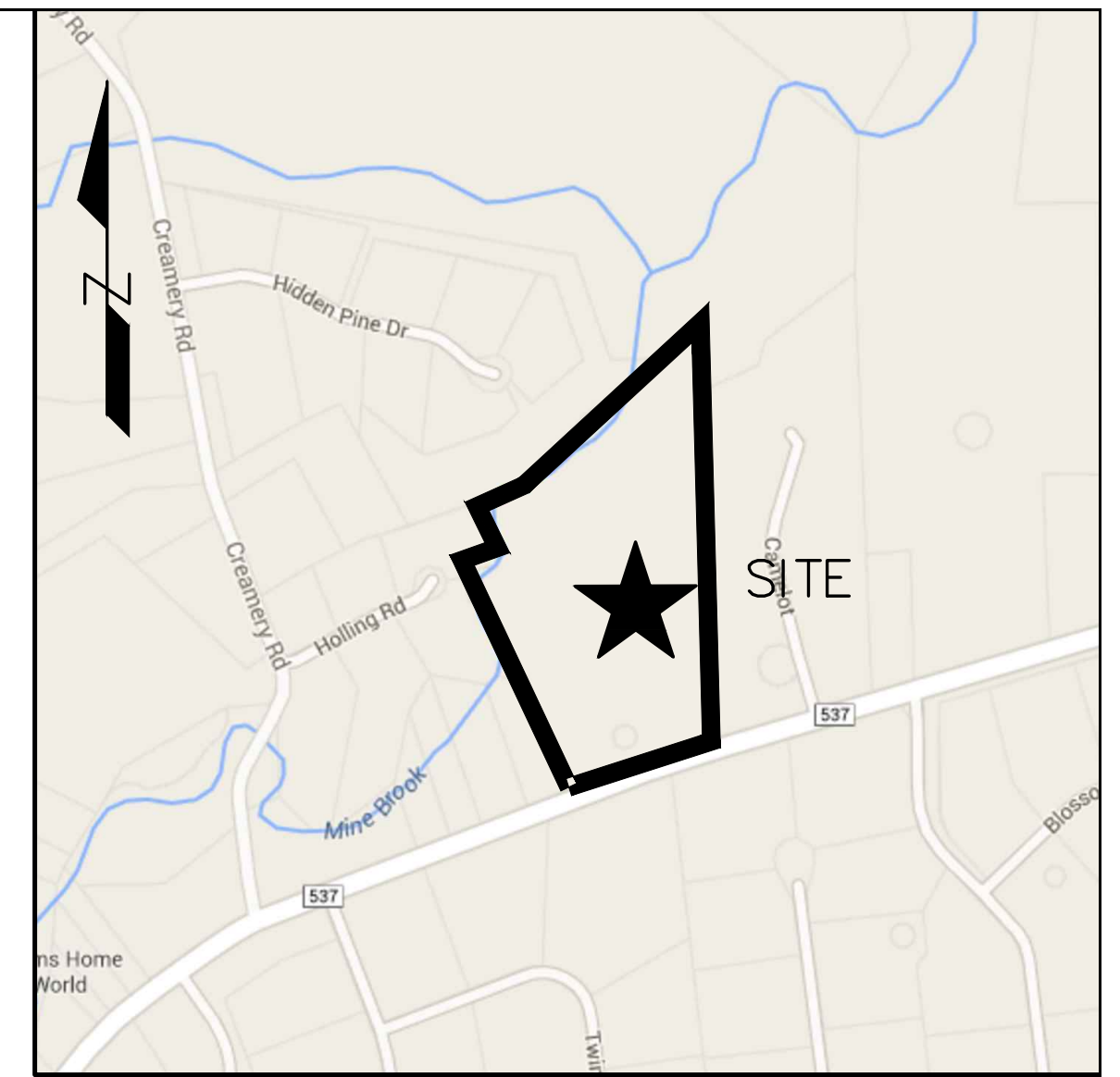




TAX MAP  
SCALE: 1" = 500'±



KEY MAP  
SCALE: 1" = 600'±

# PRELIMINARY & FINAL PLAT MAJOR SITE PLAN "COLTS NECK COMMUNITY CHURCH" BLOCK 33 LOT 21 TOWNSHIP OF COLTS NECK MONMOUTH COUNTY NEW JERSEY

PROPERTY OWNERS WITHIN 200 FEET

LIST OF UTILITY COMPANIES

CABLEVISION OF MONMOUTH  
MICHAEL KARLOWSKI, SUPERVISOR OF CONSTRUCTION  
1501 18TH AVENUE  
WALL TOWNSHIP, NEW JERSEY 07719-3797

NEW JERSEY NATURAL GAS COMPANY  
RIK ALBANESE, MANAGER, RIGHT-OF-WAY & CLAIMS  
PO BOX 1468  
1415 WYCKOFF ROAD  
WALL, NEW JERSEY 07719

PSE&G  
MANAGER - CORPORATE PROPERTIES  
80 PARK PLAZA, 768  
NEWARK, NEW JERSEY 07102

GPU  
IRA JOLLES, EXECUTIVE VP & GENERAL COUNCIL  
PO BOX 1911  
300 MADISON AVENUE  
MORRISTOWN, NEW JERSEY 07962-1911

VERIZON - NEW JERSEY, INC.  
LORRAINE GORMAN, SENIOR RIGHT-OF-WAY AGENT  
5100 BELMAR BOULEVARD  
FARMINGDALE, NEW JERSEY 07727

MONMOUTH COUNTY PLANNING BOARD  
HALL OF RECORDS ANNEX  
1 EAST MAIN STREET  
FREEHOLD, NEW JERSEY 07728

STATE OF NEW JERSEY D.O.T.  
DIVISION OF R.O.W. - NICHOLAS J. MONAHAN  
P.O. BOX 800  
1035 PARKWAY AVENUE  
TRENTON, NEW JERSEY 08625

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
33	20.01	MORRIS FLANCSBAUM & SUSAN RIZZUTO 250 NE 5TH AVE. BOCA RATON, FLA 33432	5 CAMELOT DRIVE
33	20.02	ZAGHA, DOUGLAS 7 CAMELOT DRIVE COLTS NECK, NJ 07722	7 CAMELOT DRIVE
33	20.03	ZUPPICHINI, MARK & JOANNE 8 CAMELOT DRIVE COLTS NECK, NJ 07722	8 CAMELOT DRIVE
33	22	BYRNE, MAUREEN 245 ROUTE 537 COLTS NECK, NJ 07722	245 ROUTE 537
33	23	WILLIAMS, MICHAEL A & SANDRA A 241 ROUTE 537 COLTS NECK, NJ 07722	241 ROUTE 537
33	24	GUNTHER, HAROLD & DOROTHY 627 PARK AVE. FREEHOLD, NJ 07728	237 ROUTE 537
33	32	SPINELLA FAMILY LLC 39 SPRUCE LANE COLTS NECK, NJ 07722	36 CREAMERY ROAD
33	31.05	FOX, OLIVER & MONICA 27 HIDDEN PINE DRIVE COLTS NECK, NJ 07722	27 HIDDEN PINE DRIVE
33	31.06	ORLICK, WESLEY & AZIZ 22 HIDDEN PINE DRIVE COLTS NECK, NJ 07722	22 HIDDEN PINE DRIVE
33	31.08	TOWNSHIP OF COLTS NECK 124 CEDAR DRIVE COLTS NECK, NJ 07722	HIDDEN PINE DRIVE
33	37	AJAMI, STEVEN & DAHLEM 20 HOLLING ROAD COLTS NECK, NJ 07722	20 HOLLING ROAD
33	38	SARSANY, PETER 25 HOLLING ROAD COLTS NECK, NJ 07722	25 HOLLING ROAD
33	39	POWELL, JOSEPH M. & ELIZABETH 17 HOLLING ROAD COLTS NECK, NJ 07722	17 HOLLING ROAD
48	21.7	NICOLETTI, JAMES M 44 YEARNING PATH COLTS NECK, NJ 07722	44 YEARNING PATH
48	21.08	SPAONOLA, JOSEPH & DANIELLE 45 YEARNING PATH COLTS NECK, NJ 07722	45 YEARNING PATH
48	20.14	BETTAGLIA, MICHAEL & GINA 28 TWIN LAKES DRIVE COLTS NECK, NJ 07722	28 TWIN LAKES DRIVE
48	20.15	STROIN, JOSEPH & LAUREN 30 TWIN LAKES DRIVE COLTS NECK, NJ 07722	30 TWIN LAKES DRIVE

OWNER/APPLICANT  
COLTS NECK COMMUNITY CHURCH  
C/O CHRISTOPHER BENOSKY  
25 MERCHANTS WAY  
COLTS NECK, NJ 07722

INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION	DATE	LAST REVISED
1	COVER SHEET	02-13-20	07-07-20
2	EXISTING CONDITIONS PLAN	02-13-20	07-07-20
3	SITE PLAN	02-13-20	07-07-20
4	GRADING AND UTILITY PLAN	02-13-20	07-07-20
5	MONMOUTH COUNTY ROUTE 537 PLAN	02-13-20	07-07-20
6	LANDSCAPING PLAN	02-13-20	07-07-20
7	LIGHTING PLAN	02-13-20	07-07-20
8	SOIL EROSION & SEDIMENT CONTROL PLAN	02-13-20	07-07-20
9	SOIL EROSION & SEDIMENT CONTROL NOTES	02-13-20	07-07-20
10	SOIL MITIGATION COMPACTION PLAN	02-13-20	07-07-20
11	SOIL MITIGATION COMPACTION NOTES	02-13-20	07-07-20
12	PRE DEVELOPED DRAINAGE AREA MAP	02-13-20	07-07-20
13	POST DEVELOPED DRAINAGE AREA MAP	02-13-20	07-07-20
14	INLET AREA MAP	02-13-20	07-07-20
15	CONSTRUCTION DETAILS	02-13-20	07-07-20

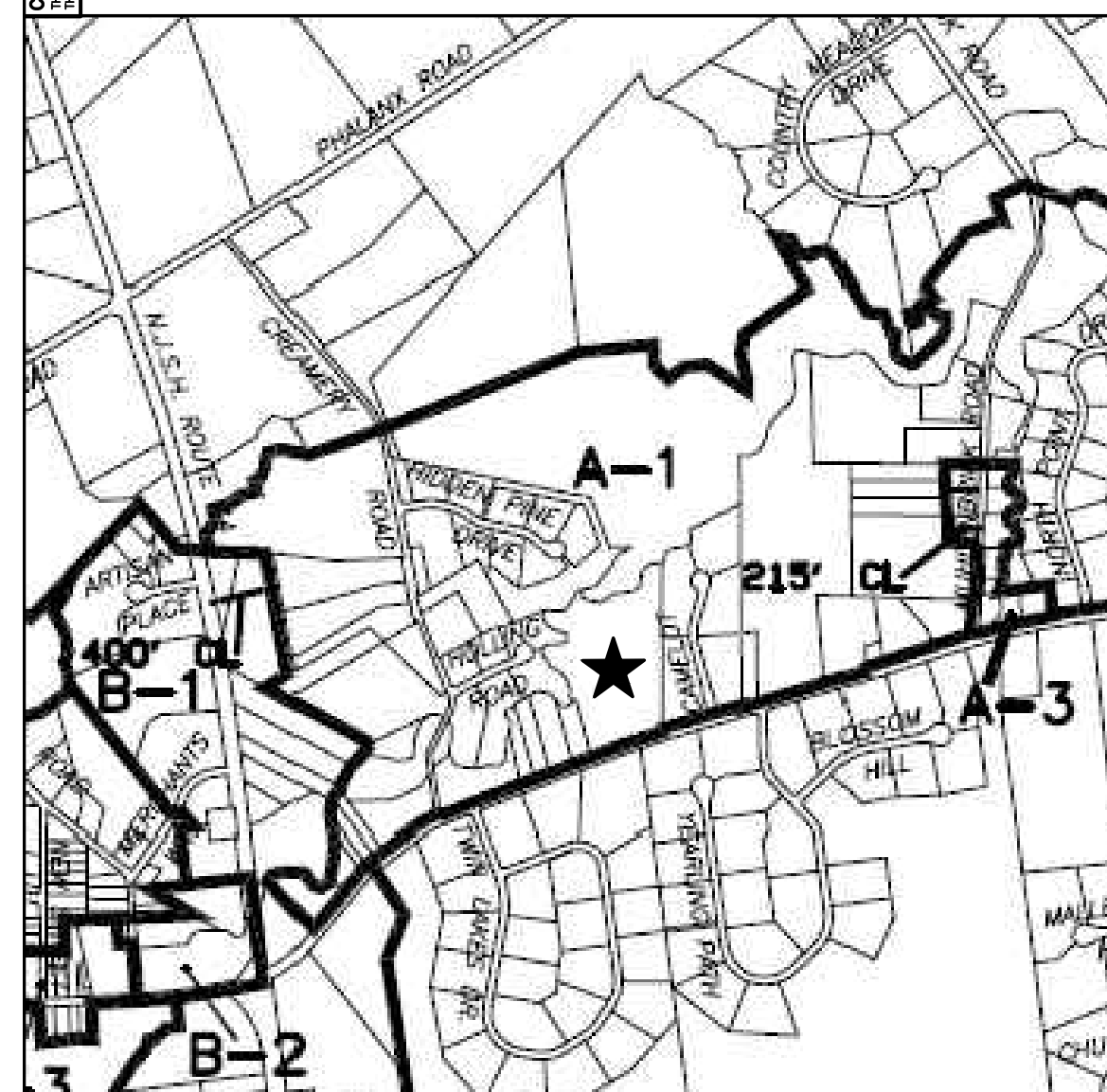
GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, LOT NO. 21, BLOCK NO. 33, TOWNSHIP OF COLTS NECK, COUNTY OF MONMOUTH, NEW JERSEY", PREPARED BY FRANK R. DESANTIS, N.J.P.L.S. NO. 42901, DATED JANUARY 8, 2013.
- DO NOT SCALE DRAWINGS. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THEREIN.
- THIS PLAN IS NOT A SURVEY. IT IS TO BE UTILIZED TO SHOW THE PROPOSED IMPROVEMENTS TO THE SITE AS INDICATED.
- ALL SITE IMPROVEMENTS SHALL BE COMPLETED WITHIN ONE YEAR OF THE DATE THAT A CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE BUILDING FOR WHICH SUCH IMPROVEMENTS ARE REQUIRED OR NECESSARY IN A SITE PLAN DEVELOPMENT.
- CONSERVATION, OPEN SPACE, DRAINAGE AND UTILITY RIGHT-OF-WAY AND LANDSCAPE EASEMENT AREAS ARE NOT TO BE USED FOR ROADWAYS OR STORAGE OR AS A DUMP AREA OR DRIVEN OVER BY CONSTRUCTION OR OTHER EQUIPMENT OR DISTURBED IN ANY MANNER WITHOUT PRIOR PERMISSION, IN WRITING, FROM THE TOWNSHIP ENGINEER. ANY SUCH AREAS DISTURBED MUST BE RESTORED TO THE NATURAL STATE OR TO THE STATE SPECIFIED ON THE APPROVED PLATS AND TO THE SATISFACTION OF THE COLTS NECK TOWNSHIP SHADE TREE COMMISSION.
- CHANGES FROM THE LIMIT OF DISTURBANCE AND LIMIT OF CLEARING ON INDIVIDUAL LOTS AS SHOWN ON THE APPROVED PLATS AND GRADING PLANS FOR INDIVIDUAL LOTS WHICH CHANGE THE APPROVED PLAT GRADE BY 1 1/2 FEET OR MORE AT ANY POINT ON A LOT MUST BE APPROVED BY THE TOWNSHIP ENGINEER OR TOWNSHIP PLANNER PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION WORK OR CONSTRUCTION PERMIT ISSUANCE.
- ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED FROM ALL AREAS WHERE ROADWAYS, BUILDING AND PARKING AREAS AND OTHER IMPROVEMENTS WILL BE CONSTRUCTED AND WHERE ANY GRADING SHALL BE PERFORMED. EXCEPT FOR THOSE AREAS OCCUPIED BY ROADWAYS, PARKING AND BUILDINGS, THE TOPSOIL SHALL BE REDISTRIBUTED WHEREVER ANY REGRADING OR SOIL DISTURBANCE OR PREVIOUS STRIPPING WAS PERFORMED OR WHERE ANY TOPSOIL AREAS HAVE BECOME CONTAMINATED WITH ANY OTHER FOREIGN MATERIALS AND DEBRIS.
- THE DEVELOPER SHALL TOPSOIL (FOUR-INCH MINIMUM DEPTH), GRADE AND SEED THE AREAS BETWEEN THE STREET CURB AND THE EDGE OF THE RIGHT-OF-WAY ON EACH SIDE OF ALL STREETS INTERNAL TO THE DEVELOPMENT AND ON THE SIDE OF THOSE STREETS BORDERING THE DEVELOPMENT, AND THAT SUBSTANTIAL TURF SHALL BE DEVELOPED BEFORE THE PERFORMANCE GUARANTY IS RELEASED. THIS TURF REQUIREMENT ALSO APPLIES TO LANDSCAPED AREAS.
- SOIL EROSION AND SEDIMENT CONTROL NOTES: CONTROL MEASURES SHALL APPLY TO CONSTRUCTION ON INDIVIDUAL LOTS AND CONTROL MEASURES SHALL APPLY TO SUBSEQUENT OWNERS IF TITLE IS CONVEYED.
- DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE TOWNSHIP ENGINEER.
- A 50' X 30' X 1' PAD OF 1 1/2"-2" STONE WILL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE. PAVED STREETS ARE TO BE KEPT CLEAN AT ALL TIMES.
- DRAINAGE EASEMENTS SHOWN ON THIS SET OF PLANS ARE SUBJECT TO SECTION 102-69A(2) OF THE COLTS NECK TOWNSHIP DEVELOPMENT REGULATIONS.
- CONSERVATION, OPEN SPACE, DRAINAGE AND UTILITY RIGHT-OF-WAY EASEMENTS SHOWN ON THIS SET OF PLANS ARE SUBJECT TO SECTION 102-69B OF THE COLTS NECK TOWNSHIP DEVELOPMENT REGULATIONS.
- ACCESS EASEMENTS SHOWN ON THIS SET OF PLANS ARE SUBJECT TO SECTION 102-69C OF THE COLTS NECK TOWNSHIP DEVELOPMENT REGULATIONS.
- LANDSCAPE EASEMENTS SHOWN ON THIS SET OF PLANS ARE SUBJECT TO SECTION 102-69D OF THE COLTS NECK TOWNSHIP DEVELOPMENT REGULATIONS.
- SIGHT TRIANGLE EASEMENTS SHOWN ON THIS SET OF PLANS ARE SUBJECT TO SECTIONS 102-73G AND 102-77I OF THE COLTS NECK TOWNSHIP DEVELOPMENT REGULATIONS.
- THESE NOTES APPLY TO ALL SHEETS IN THIS SET.
- ANY FILL BEING BROUGHT TO THE SITE SHALL BE TESTED PRIOR TO ARRIVAL. ONLY CLEAN FILL WILL BE BROUGHT TO THE SITE.

'A-1' RESIDENTIAL DISTRICT

MARKET RATE AND BONUS LOTS	REQUIRED	PROPOSED	VARIANCE REQUIRED
MIN. LOT AREA	5 ACRES	13.09 ACRES	NO
MIN. LOT AREA OUTSIDE 300' RIPARIAN ZONE	74,800 SF	224,138 SF	NO
MIN. LOT AREA OUTSIDE 150' SWRPA	74,800 SF	395,136 SF	NO
MIN. LOT AREA OUTSIDE PROPOSED EASEMENTS	74,800 SF	310,977 SF	NO
MIN. LOT FRONTAGE	300 FT	465.51 FT	NO
MIN. LOT WIDTH	300 FT	465.51 FT	NO
MIN. LOT DEPTH	300 FT	630± FT	NO
PRINCIPAL STRUCTURES			
FRONT YARD SETBACK	100 FT	75 FT	NO
REAR YARD SETBACK	100 FT	50 FT	NO
SIDE YARD SETBACK	75 FT	50 FT	NO
TO ANOTHER BUILDING	20 FT	20 FT	NO
ACCESSORY STRUCTURES			
FRONT YARD SETBACK	100 FT	N/A	NO
REAR YARD SETBACK	50 FT	N/A	NO
SIDE YARD SETBACK	50 FT	N/A	NO
MAXIMUM BUILDING COVERAGE			
PRINCIPAL BUILDINGS	10%	3.96%	NO
MAXIMUM LOT COVERAGE			
	20%	18.62%	NO
MAXIMUM STRUCTURE HEIGHT	35 FT	35 FT	NO
MAXIMUM STORIES	2.5	2.5	NO

ZONE MAP  
SCALE: 1" = 1,300'±



SIGNATURE BLOCKS

APPROVED AS A PRELIMINARY AND FINAL PLAT OF A MAJOR SITE PLAN

BY THE TOWNSHIP OF COLTS NECK PLANNING BOARD ON \_\_\_\_\_

ATTEST: \_\_\_\_\_ CHAIRMAN

SECRETARY \_\_\_\_\_ DATE

TOWNSHIP ENGINEER \_\_\_\_\_ DATE

TOWNSHIP PLANNER \_\_\_\_\_ DATE

I, CHRISTOPHER BENOSKY, REPRESENTATIVE OF OWNER, CONSENT TO THE PRELIMINARY MAJOR SITE PLAN.

OWNER \_\_\_\_\_ DATE

I, CHRISTOPHER BENOSKY, REPRESENTATIVE OF APPLICANT, CONSENT TO THE PRELIMINARY MAJOR SITE PLAN.

APPLICANT \_\_\_\_\_ DATE

REV.	DATE	DESCRIPTION
1	07-07-20	REVISED FOR COMPLETENESS

**TRE**  
TWO RIVER ENGINEERING  
www.tworiverengineering.com  
P.O. Box 155  
Colts Neck, N.J. 07722  
Tel: 732.866.0111  
Fax: 732.866.4348

■ Civil Engineers  
■ Forensic Experts  
■ Environmental Consultants

PROJECT NO.: 18130  
DATE: FEBRUARY 13, 2020  
DRAWING NO.: 18130-01  
DRAWN BY: AJG  
CLIENT: CNCC  
SCALE: AS SHOWN

PRELIMINARY AND FINAL MAJOR SITE PLAN  
COVER SHEET  
FOR  
BLOCK 33  
LOT 21  
TAX MAP SHEET NO. 7  
TOWNSHIP OF COLTS NECK  
MONMOUTH COUNTY  
NEW JERSEY

A.U. GARHO, JR.  
07-07-2020  
DATE  
N.J. Professional Engineer  
License No. 24GE03799700

PB-7393

SHEET NO. 1 OF 15